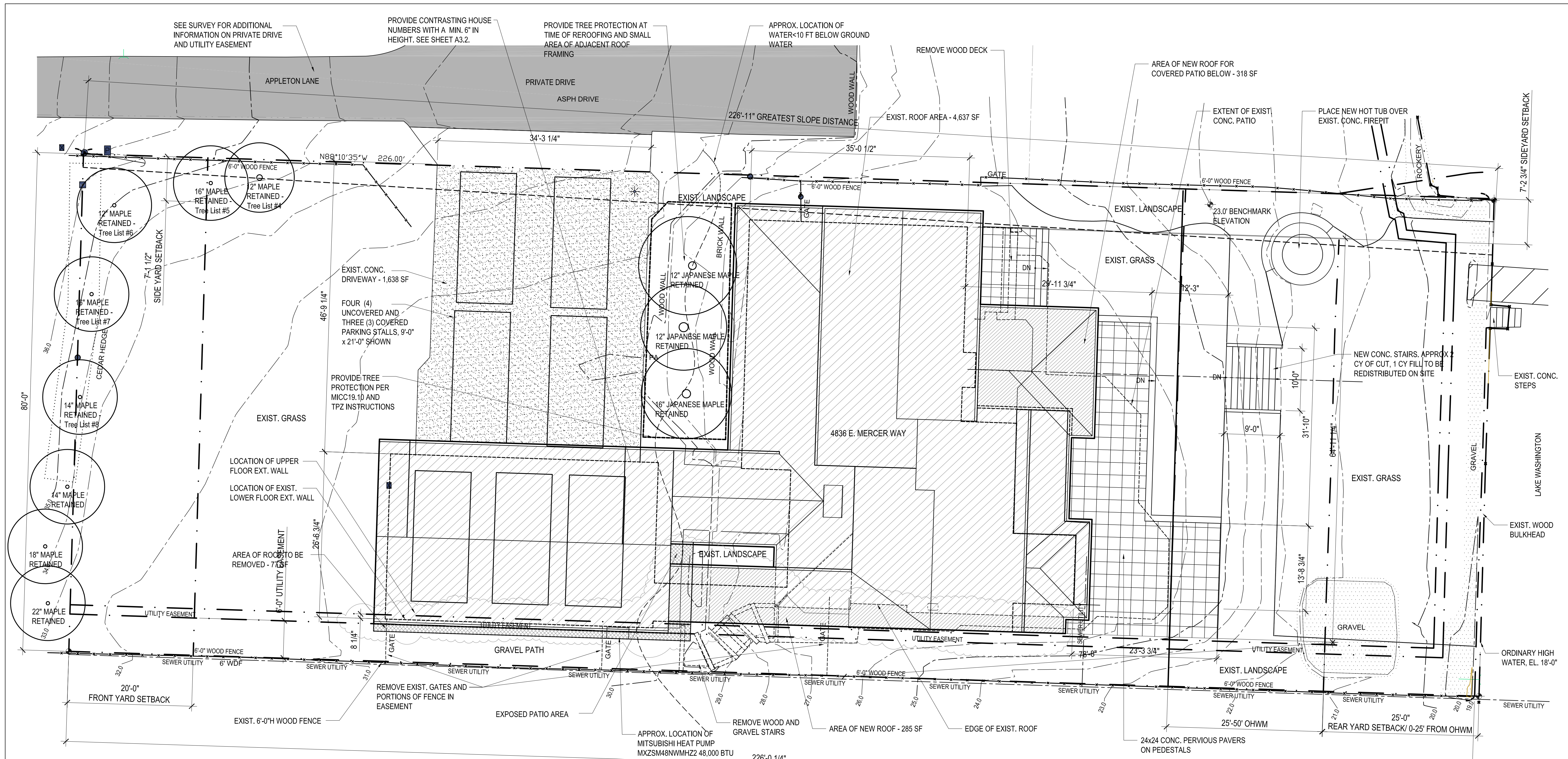


Date:	01.30.2026
Revision:	03.20.2026
Number:	CONSTRUCTION SET ISSUE
	BUILDING PERMIT REVISION 1

Project:
Rosenwald Residence
 4836 E Mercer Way
 Mercer Island, WA 98040
 Project No. 24.245
 Date: January 30, 2026
CONSTRUCTION

SITE PLAN

A1.0



1 SITE PLAN
 1/8" = 1'-0"

PROJECT ADDRESS: 4836 E MERCER WAY, MERCER ISLAND, WA 98040
 PARCEL NUMBER: 1924059001
 ZONING: R-15
 MIN BUILDING SETBACKS:
 FRONTYARD: 20'-0"
 SIDEYARD: 15'-0" TOTAL
 REAR: 25'-0"
 LOT SIZE: 18,403 SF
 LEGAL DESCRIPTION: BEG AT N MDR COR OF GL 1 TH S 00-11-00 W 335 FT TH N 89-41-00 W 15 FT TO TPOB TH S 00-11-00 W 80 FT TH S 89-41-00 E 220 FT ML TO ELY LN SD GL TH NELY TO PT S 89-41-00 E OF TPOB TH N 89-41-00 W TO TPOB TGV 2ND CL SH LDS ADJ
 ENVIRONMENTAL CONDITIONS: R-15
 ZONING: WIND SPEED EXPOSURE C
 WIND SPEED 1.0
 POTENTIAL SLIDE/LANDSLIDE AREA
 SEISMIC/LIQUEFACTION

LEGEND:
 MAIN STRUCTURE ROOF AREA: [Hatched Box]
 NEW ROOF AREA: [Diagonal Lines Box]
 EXIST. DRIVEWAY: [Dotted Box]
 EXIST. GRAVEL PATH TO REMAIN: [Dotted Box]

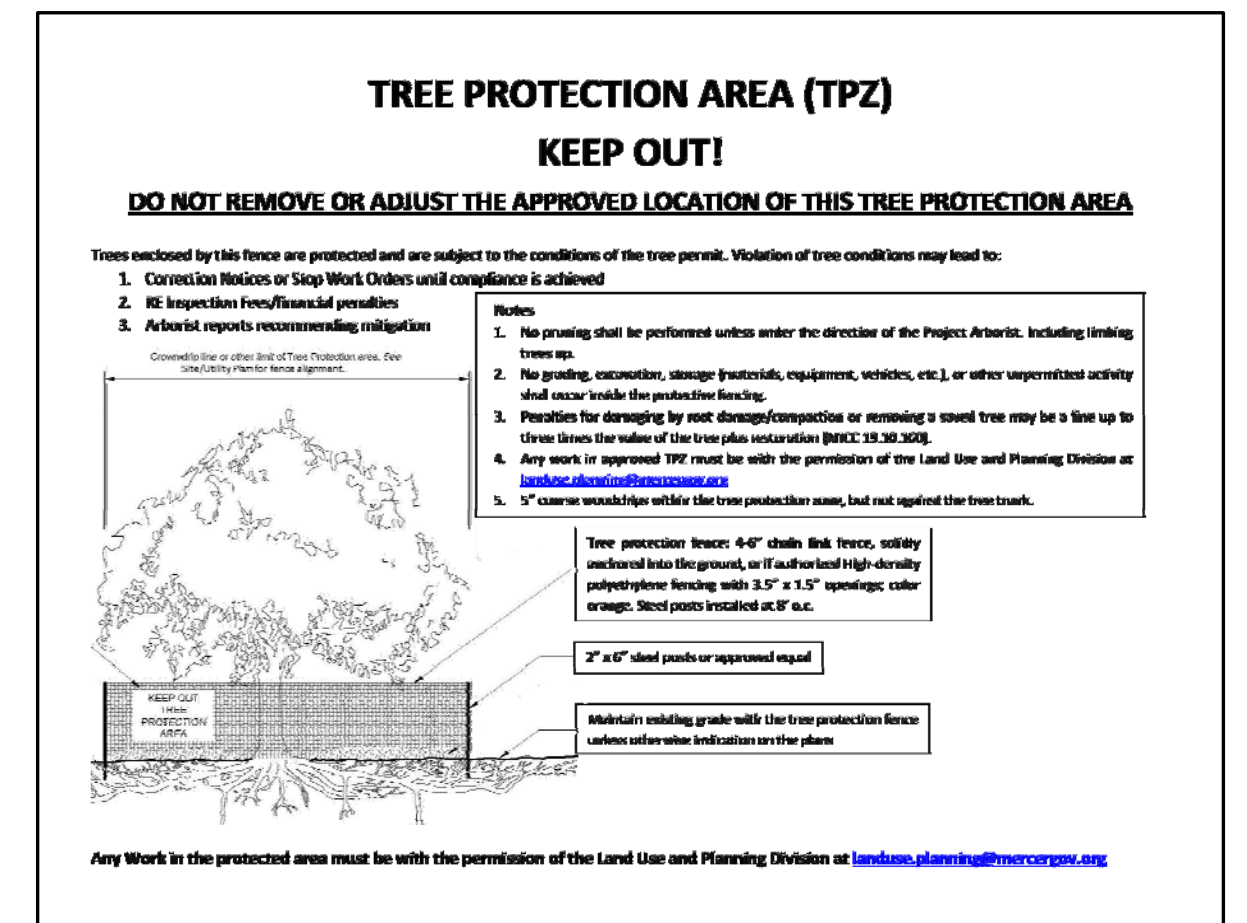
HIGHEST ELEVATION POINT ON LOT: 36.0 FT
 LOWEST ELEVATION POINT OF LOT: 19.0 FT
 ELEVATION DIFFERENCE: 17.0 FT
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 226.92 FT
 LOT SLOPE: 8%

LOT SLOPE CALCULATIONS

AVERAGE BUILDING ELEVATION CALCULATION
 SEE SHEET A1.5

A. Gross Lot Area:	18,403 SF
B. Net Lot Area:	18,403 SF
C. Allowed Lot Coverage Area:	7,361 SF
D. Allowed Lot Coverage % of Lot:	40%
E. Existing Lot Coverage:	
1. Main Structure Roof Area:	4,494 SF
2. Accessory Building Roof Area:	0
3. Vehicular Use: (driveway, paved access easements [portion used by the lot for access], parking):	1,638 SF
4. Covered Patios and Covered Decks:	UNDER E1
5. Total Existing Lot Coverage Area (E1+E2+E3+E4):	6,261 SF
F. (Total Lot Coverage Area Removed- See Sheet A3.3):	(77) SF
G. Proposed Adjustment for Single Story (Area):	N/A
H. Proposed Adjustment for Flag Lot:	N/A
I. Total New Lot Coverage Area:	603 SF
1. Main Structure Roof Area:	N/A
2. Accessory Structure Roof Area:	UNDER I1
3. Vehicular Use (driveway, paved access easement [portion used by the lot for access], parking):	603 SF
4. Covered Patios and Covered Decks:	6,787
5. Total New Lot Coverage Area (I1 + I2 + I3 + I4):	6,787
J. Total Project Lot Coverage Area = (E5 - F) + I5:	6,787
K. Proposed Lot Coverage Area = (J/B) x 100 % of Lot:	36.8%

NOTE:
 EXISTING STRUCTURE IS NON-CONFORMING REGARDING SIDEYARD SETBACKS PER PREVIOUS BUILDING PERMIT. PROPOSED DESIGN CONFORMS TO MICC 19.01.050(D)(1)(b). NO EXISTING NON-CONFORMING EXTERIOR STRUCTURAL WALLS TO BE REMOVED.



PROJECT INFORMATION

LOT COVERAGE CALCULATIONS



Owner:
 Greg and Jennifer Rosenwald

4836 E Mercer Way
 Mercer Island, WA 98040

P. -
 Contact: Greg Rosenwald

General Contractor:
 TBD

P. -
 Contact: -

Structural Engineer:
 Harriott Valentine Engineering

1932 1st Ave, Suite 720
 Seattle, WA 98101

P. 206.624.4760
 Contact: Todd Valentine

Mechanical Engineer:
 n/a

P. -
 Contact: -

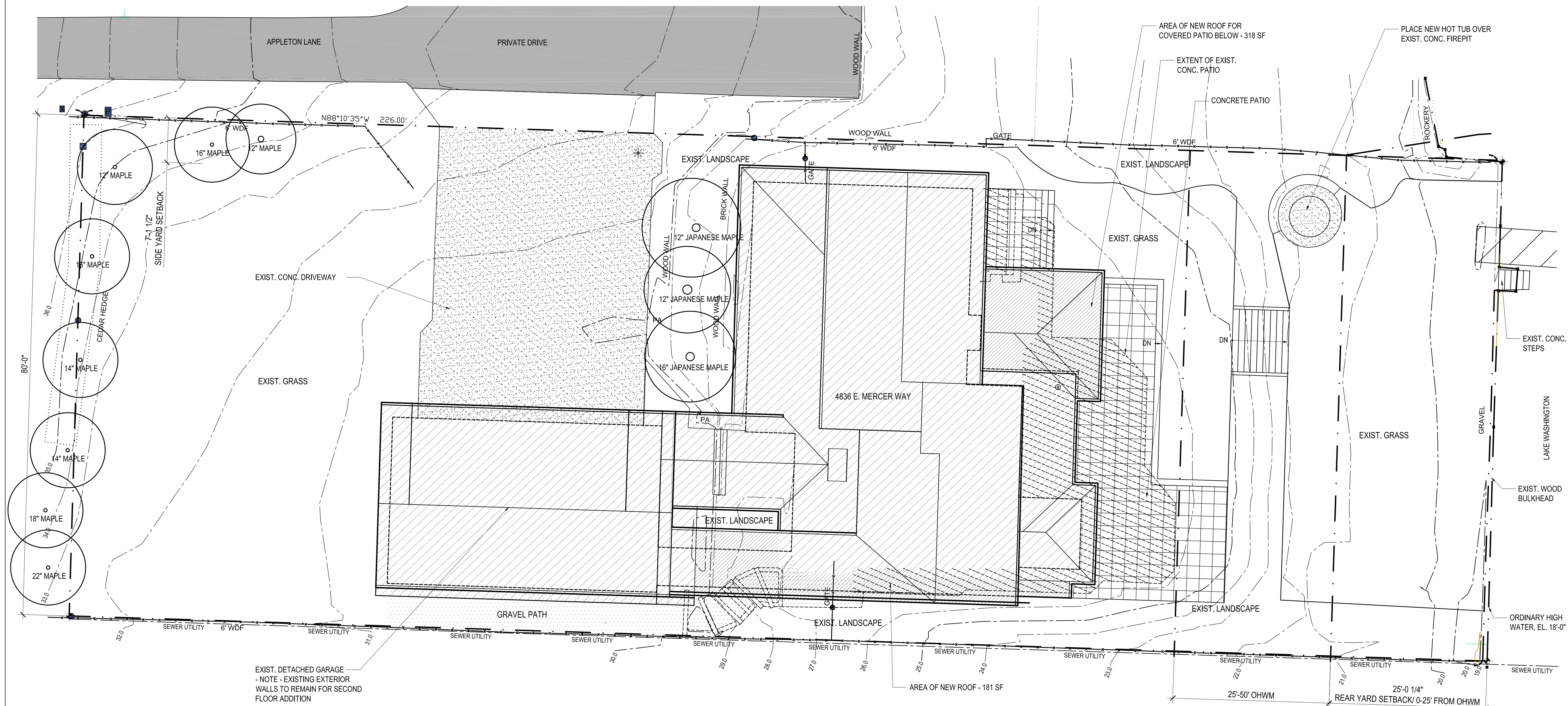
Jurisdiction Approval Stamp

Date:	01.30.2026
CONSTRUCTION SET ISSUE	03.20.2026
BUILDING PERMIT REVISION 1	
Number:	
Revision:	

Project:
Rosenwald Residence
 4836 E Mercer Way
 Mercer Island, WA 98040
 Project No. 24.245
 Date: January 30, 2026
CONSTRUCTION

HARD SURFACE PLAN

A1.2



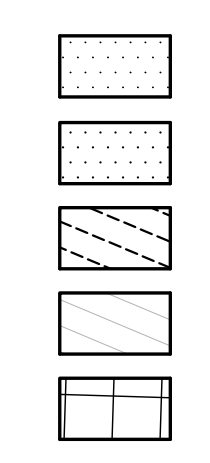
1 HARD SURFACE PLAN
 1/8" = 1'-0"

HARD SURFACE CALCULATIONS:

1. Roof Areas: a. Garage Roof: Existing Roof Area: 1,553 SF Proposed Roof Area Addition: 0 SF Total Roof Area: 1,425 SF b. House Roof: Existing Roof: 3,197 SF Proposed Roof Area Addition: 649 SF Total Roof Area: 3,846 SF c. Total Existing Roof Area: 4,750 SF Total Proposed Additional Roof Area: 649 SF TOTAL ROOF AREA: 5,399 SF		2. Hardscape Area (See Sheet A1.2): Existing Hardscape: 1,810 SF Proposed Hardscape Removal: (1,370 SF) Proposed Hardscape Addition: 1,033 SF TOTAL HARDSCAPE AREA: 1,473 SF (337 SF decrease from exist.)	
3. Driveway: Existing Driveway Area: 1,638 SF Proposed Driveway Addition: 0 SF TOTAL DRIVEWAY AREA: 1,638 SF		TOTAL HARD SURFACE (Roof + Hardscape + Driveway): Existing Total Hard Surface Area: 8,198 SF Proposed Total Hard Surface Addition: 312 SF TOTAL HARD SURFACE AREA: 8,510 SF	

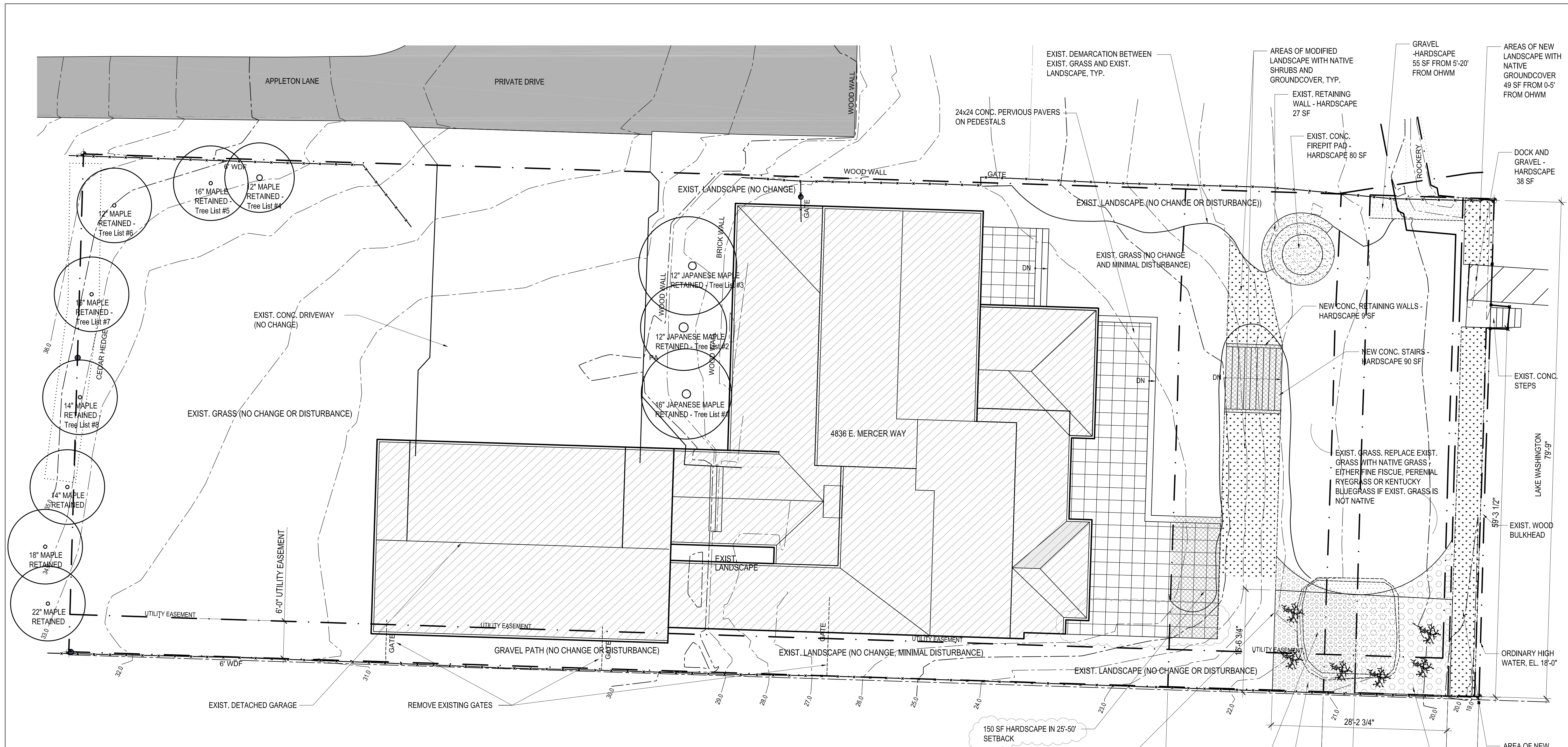
HARD SURFACE CALCULATIONS

- LEGEND:**
- EXIST. GRAVEL PATH TO REMAIN
 - EXIST. GRAVEL AND OR STAIRS TO BE REMOVED
 - EXIST. CONC. PATIO, WD DECK AND WALKWAY TO BE REMOVED
 - EXIST. CONC. PATIO
 - NEW CONC. PAVER ON PEDESTALS





Date:	01.30.2026
Revision:	03.20.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1



1 SHORELINE/LANDSCAPE PLAN
 1/8" = 1'-0"

PROJECT ADDRESS: 4836 E MERCER WAY, MERCER ISLAND, WA 98040
PARCEL NUMBER: 1924059001
ZONING: R-15
MIN BUILDING SETBACKS: FRONTYARD: 20'-0", SIDYARD: 15'-0" TOTAL, REAR: 25'-0"
LOT SIZE: 18,403 SF
LEGAL DESCRIPTION: BEG AT N MNDR COR OF GL 1 TH S 00-11-00 W 335 FT TH N 89-41-00 W 15 FT TO TPOB TH S 00-11-00 W 80 FT TH S 89-41-00 E 220 FT MIL TO ELY LN SD GL TH NELY TO PT S 89-41-00 E OF TPOB TH N 89-41-00 W TO TPOB TGW 2ND CL SH LDS ADJ
ENVIRONMENTAL CONDITIONS: R-15
ZONING: WIND SPEED EXPOSURE, WIND SPEED 1.0, POTENTIAL SLIDE, SEISMIC/LIQUEFACTION

TREE CALCULATIONS:

LOT AREA:	18,403 SF	CONDITION:	ACTION:
ONE POINT TO PER 500SF:	36.8 POINTS (37.0) NEEDED		
* 1. - EXIST. 16" JAPANESE MAPLE <i>Acer palmatum</i>	16.0 POINTS	GOOD	REMAIN
* 2. - EXIST. 12" JAPANESE MAPLE <i>Acer palmatum</i>	12.0 POINTS	GOOD	REMAIN
* 3. - EXIST. 12" JAPANESE MAPLE <i>Acer palmatum</i>	12.0 POINTS		
4. - EXIST. 12" BIG LEAF MAPLE <i>Acer macrophyllum</i>	12.0 POINTS	GOOD	REMAIN
5. - EXIST. 16" BIG LEAF MAPLE <i>Acer macrophyllum</i>	16.0 POINTS	GOOD	REMAIN
6. - EXIST. 12" BIG LEAF MAPLE <i>Acer macrophyllum</i>	12.0 POINTS	GOOD	REMAIN
7. - EXIST. 16" BIG LEAF MAPLE <i>Acer macrophyllum</i>	16.0 POINTS	GOOD	REMAIN
8. - EXIST. 14" BIG LEAF MAPLE <i>Acer macrophyllum</i>	14.0 POINTS	GOOD	REMAIN
TOTAL EXISTING POINTS :	110.0 POINTS		

* DENOTES EXCEPTION TREE

SHORELINE LANDSCAPE:

VEGETATION - 0-5' FROM OHWM:	AREA:	VEGETATION - 5-20' FROM OHWM:	AREA:
AREA:	399 SF	AREA:	1,120 SF
HARDSCAPE:	38 SF	HARDSCAPE:	55 SF
NATIVE VEGETATION:	361 SF	NATIVE VEGETATION:	281 SF (25%)
NATIVE VEGETATION %:	90%	VEGETATION:	1,065 SF
		VEGETATION %:	95%
ALLOWED HARDSCAPE 0-25' FROM OHWM:	AREA: 1,994 SF	ALLOWED HARDSCAPE 25-50' FROM OHWM:	AREA: 1,944 SF
ALLOWED: 10%		ALLOWED: 30%	
PROPOSED: 93 SF = 5%		PROPOSED: 356 SF = 18.2%	

- LEGEND:**
- EXIST. GRAVEL PATH TO REMAIN
 - EXIST. GRAVEL AND STAIRS TO BE REMOVED
 - NEW NATIVE PLANTS- SHRUBS AND GROUNDCOVER
 - NEW CONC. PAVER ON PEDESTALS

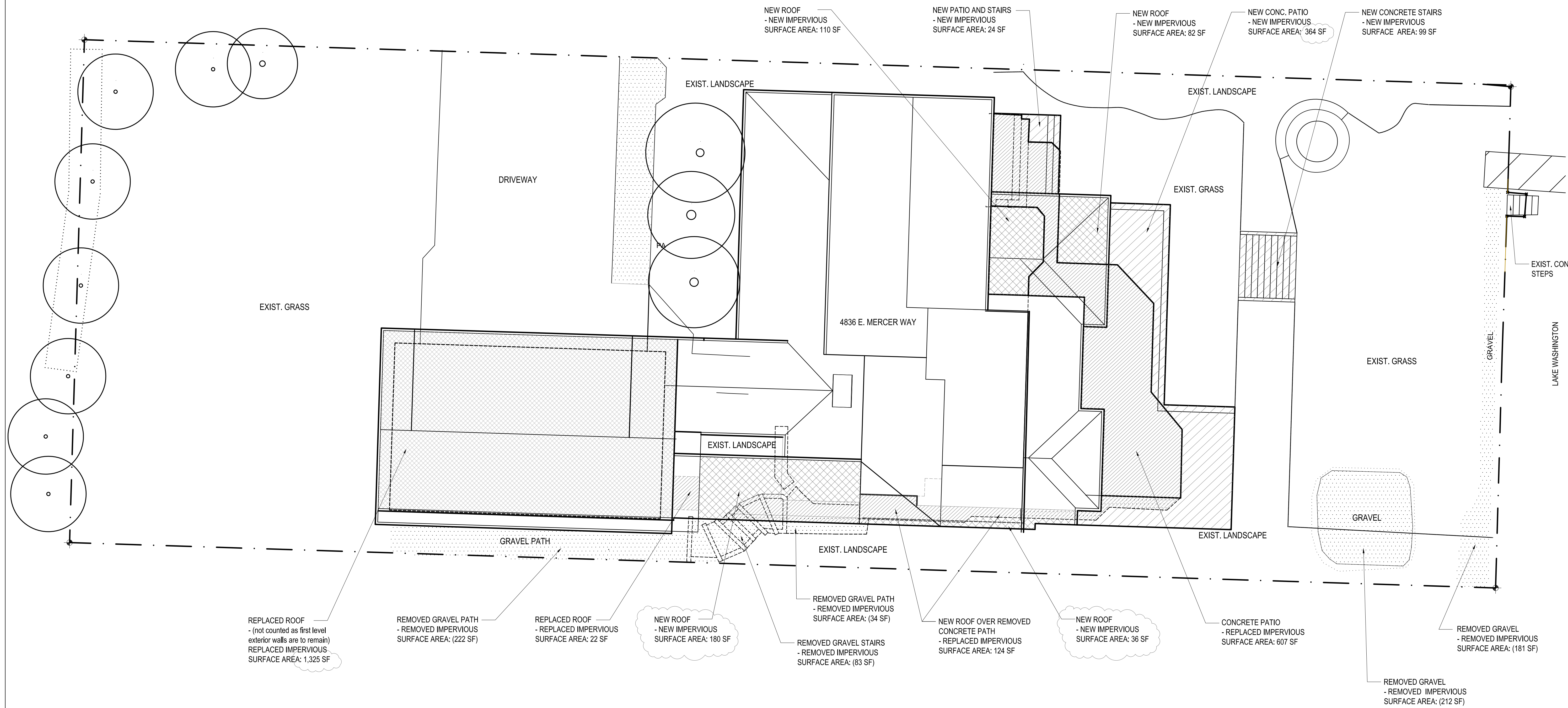
PROJECT INFORMATION

TREE NOTES

SHORELINE LANDSCAPE/HARDSACPE



Date:	01.30.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1



1 IMPERVIOUS SURFACE PLAN - NEW AND REPLACED
 1/8" = 1'-0"

IMPERVIOUS SURFACE CALCULATIONS:

Replaced and New Impervious Surface area

- 1. Replaced Impervious Surface Area: 2,565 sf
- 2. New Impervious Surface Area: 408 sf
- 3. Roof Over Garage does not count (ext. walls remain) (1,425 sf)

Total New and Replaced Impervious Surface Area: 1,648 sf

Removed Impervious surface area:

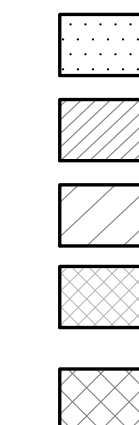
- 1. Roof Over Garage does not count (ext. walls remain) 408 sf

DIFFERENCE BETWEEN REPLACED/NEW IMPERVIOUS AND REMOVED IMPERVIOUS AREA

- Total New/Replaced Impervious Area: 1,648 sf
- Total Removed Impervious Area: (408 sf)
- Difference: 1,240 sf

LEGEND:

- REMOVED IMPERVIOUS SURFACE AREA
- REPLACE IMPERVIOUS AREA
- NEW IMPERVIOUS SURFACE AREA
- REPLACED ROOF OVER EXISTING EXTERIOR WALLS (NOT COUNTED)
- NEW IMPERVIOUS SURFACE AREA - NEW ROOF



Architect:
JML ARCHITECTS
 Mercer Island, WA 98040
 P. 206.802.4040
 Contact: Jean-Marc LeRoy, AIA



Owner:
 Greg and Jennifer Rosenwald
 4836 E Mercer Way
 Mercer Island, WA 98040
 P. -
 Contact: Greg Rosenwald

General Contractor:
 TBD
 P. -
 Contact: -

Structural Engineer:
 Harriott Valentine Engineering
 1932 1st Ave, Suite 720
 Seattle, WA 98101
 P. 206.624.4760
 Contact: Todd Valentine

Mechanical Engineer:
 n/a
 P. -
 Contact: -

Jurisdiction Approval Stamp

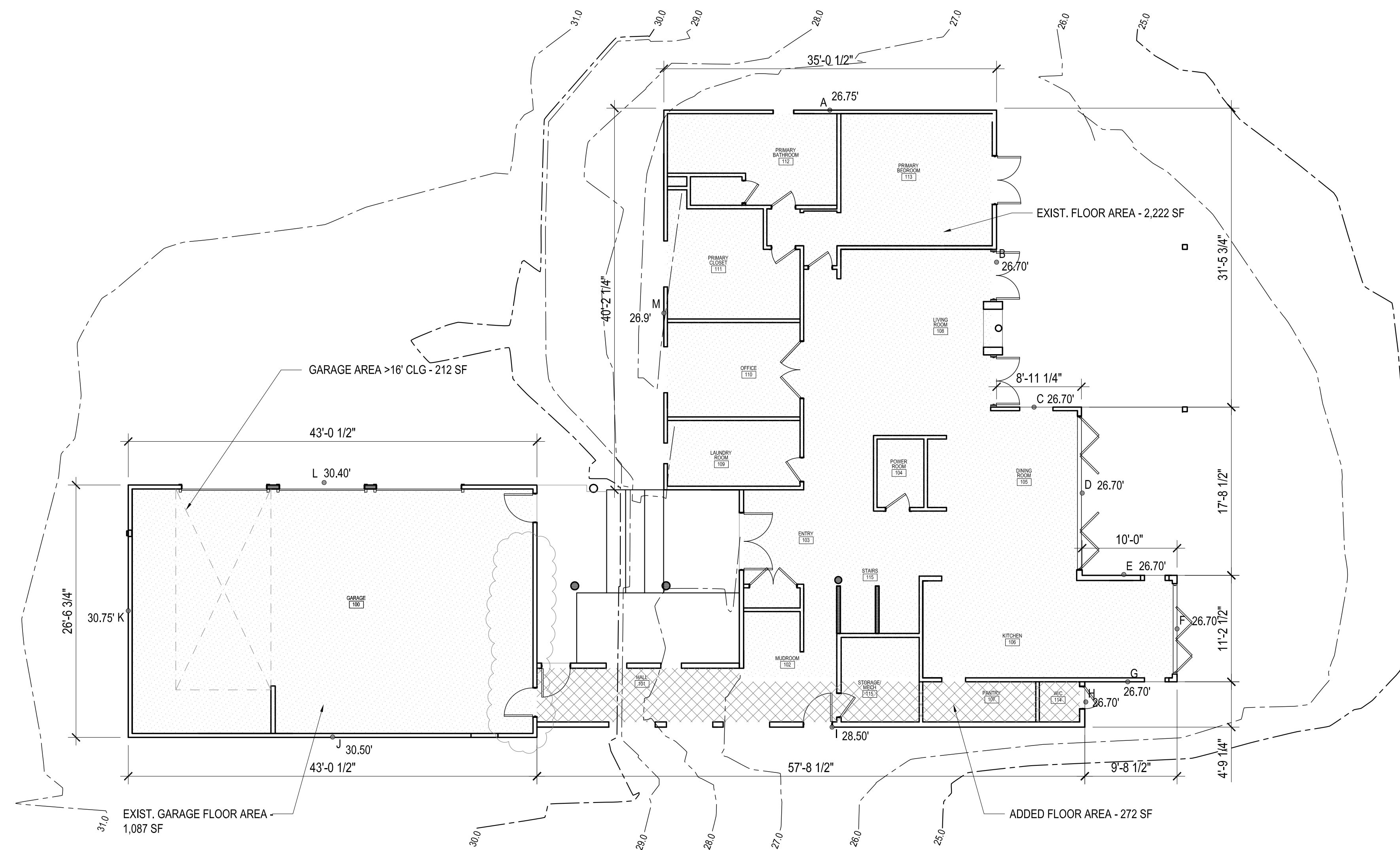
Date:	01.30.2026
Revision:	03.20.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1

Project:
Rosenwald Residence
 4836 E Mercer Way
 Mercer Island, WA 98040
 Project No. 24.245
 Date: January 30, 2026
CONSTRUCTION

GROSS FLOOR AREA AND ABE
A1.5

LOT AREA	18,403 SF			
ZONE	R-15			
ALLOW GFA	40% (7,691 SF)			
PROPOSED GFA	33.4% (6,165 SF)			
BUILDING AREA	EXISTING AREA	REMOVED AREA	NEW-ADD AREA	TOTAL
UPPER FLOOR	1,205	0	1,167	2,372 SF
MAIN FLOOR	2,222	0	348	2,570 SF
TOTAL BASEMENT	N/A	0	0	0 SF
GARAGE MAIN FLOOR	1,087	76	212 (>16' CLG)	1,223 SF
TOTAL FLOOR AREA	4,514	76	1,727	6,165 SF

GROSS FLOOR AREA CALCULATIONS



1 MAIN FLOOR GFA AND ABE
 1/8" = 1'-0"

AVERAGE BUILDING ELEVATION FORMULA:

$$\frac{(Axa)+(Bxb) \dots \text{through } (Mxm)}{a+b \dots \text{through } m}$$

MIDPOINT ELEVATIONS:

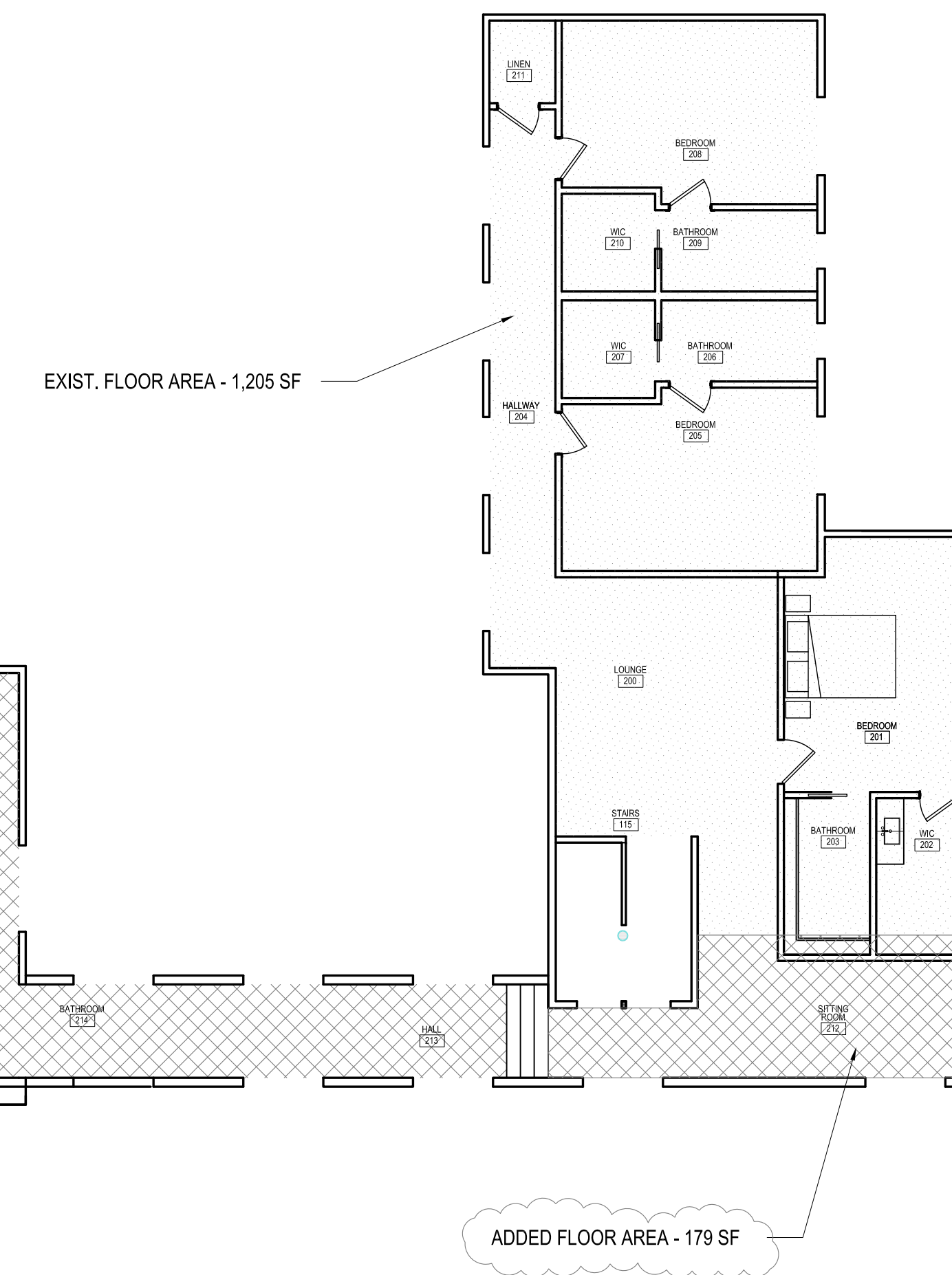
A = 26.75'	a = 35.04'
B = 26.70'	b = 31.48'
C = 26.70'	c = 8.94'
D = 26.70'	d = 17.71'
E = 26.70'	e = 10.00'
F = 26.70'	f = 11.21'
G = 26.70'	g = 9.71'
H = 26.70'	h = 4.77'
I = 28.50'	i = 57.71'
J = 30.50'	j = 43.04'
K = 30.75'	k = 26.56'
L = 30.40'	l = 43.04'
M = 26.90'	m = 40.19'

AVERAGE BUILDING ELEVATION CALCULATION:

$$\frac{(26.75 \times 35.04) + (26.70 \times 31.48) + (26.70 \times 8.94) + (26.70 \times 17.71) + (26.70 \times 10) + (26.70 \times 11.21) + (26.70 \times 9.71) + (26.70 \times 4.77) + (28.50 \times 57.71) + (30.50 \times 43.04) + (30.75 \times 26.56) + (30.40 \times 43.04) + (26.90 \times 40.19)}{35.04 + 31.48 + 8.94 + 17.71 + 10.00 + 11.21 + 9.71 + 4.77 + 57.71 + 43.04 + 26.56 + 43.04 + 40.19}$$

$$\frac{9,606.03}{339.4} = 28.3' \text{ AVERAGE BUILDING ELEVATION (ABE)}$$

AVERAGE BUILDING ELEVATION CALCULATION



2 UPPER FLOOR GFA
 1/8" = 1'-0"

Architect:
JML ARCHITECTS
 Mercer Island, WA 98040
 P. 206.802.4040
 Contact: Jean-Marc LeRoy, AIA



Owner:
 Greg and Jennifer Rosenwald
 4836 E Mercer Way
 Mercer Island, WA 98040
 P. -
 Contact: Greg Rosenwald

General Contractor:
 TBD
 P. -
 Contact: -

Structural Engineer:
 Harriott Valentine Engineering
 1932 1st Ave, Suite 720
 Seattle, WA 98101
 P. 206.624.4760
 Contact: Todd Valentine

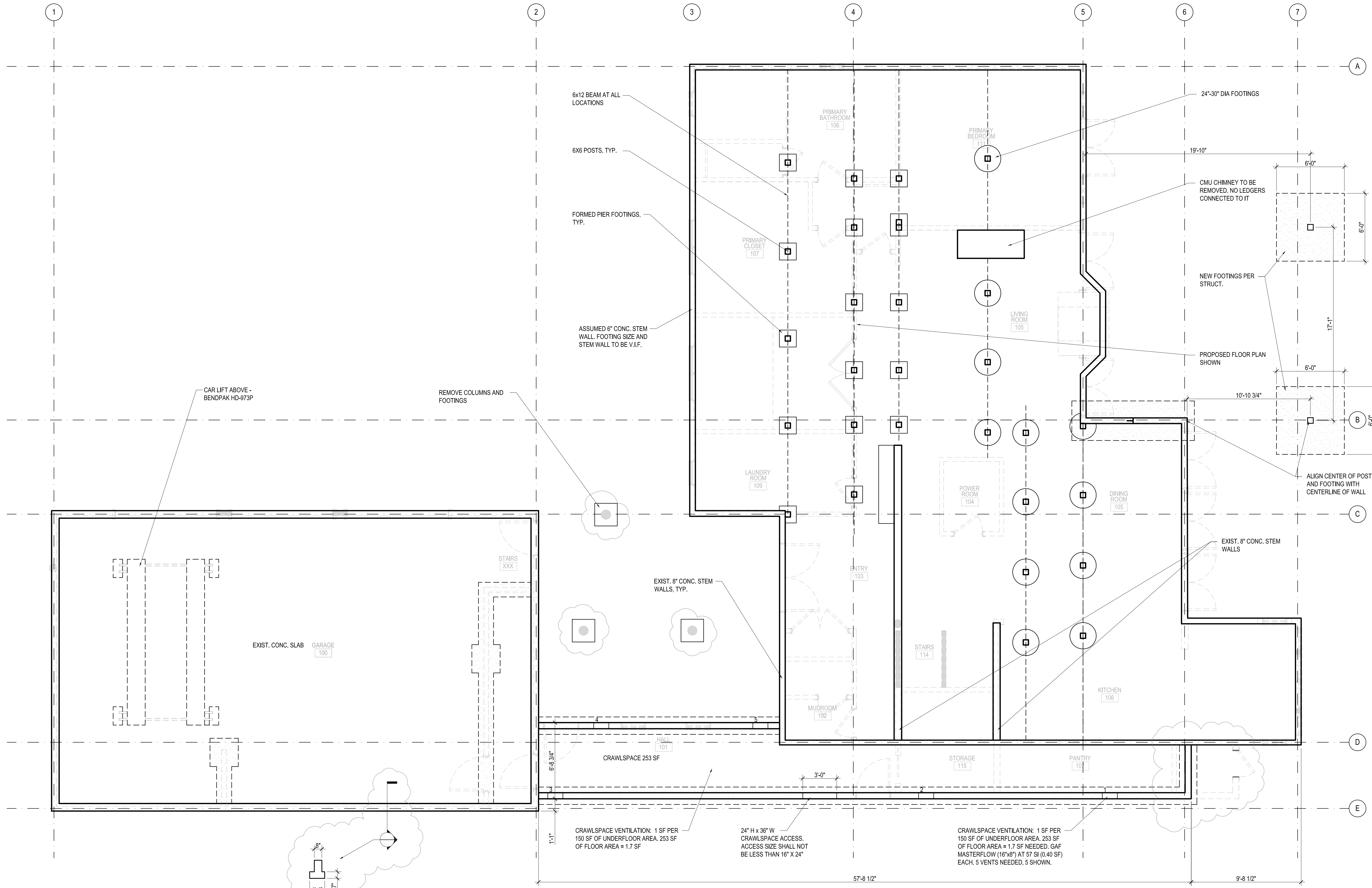
Mechanical Engineer:
 n/a
 P. -
 Contact: -

Jurisdiction Approval Stamp

Date:	01.30.2026
CONSTRUCTION SET ISSUE	03.20.2026
BUILDING PERMIT REVISION 1	
Number:	
Revision:	

Project:
Rosenwald Residence
 4836 E Mercer Way
 Mercer Island, WA 98040
 Project No. 24.245
 Date: January 30, 2026
CONSTRUCTION

FOUNDATION PLAN
A2.0



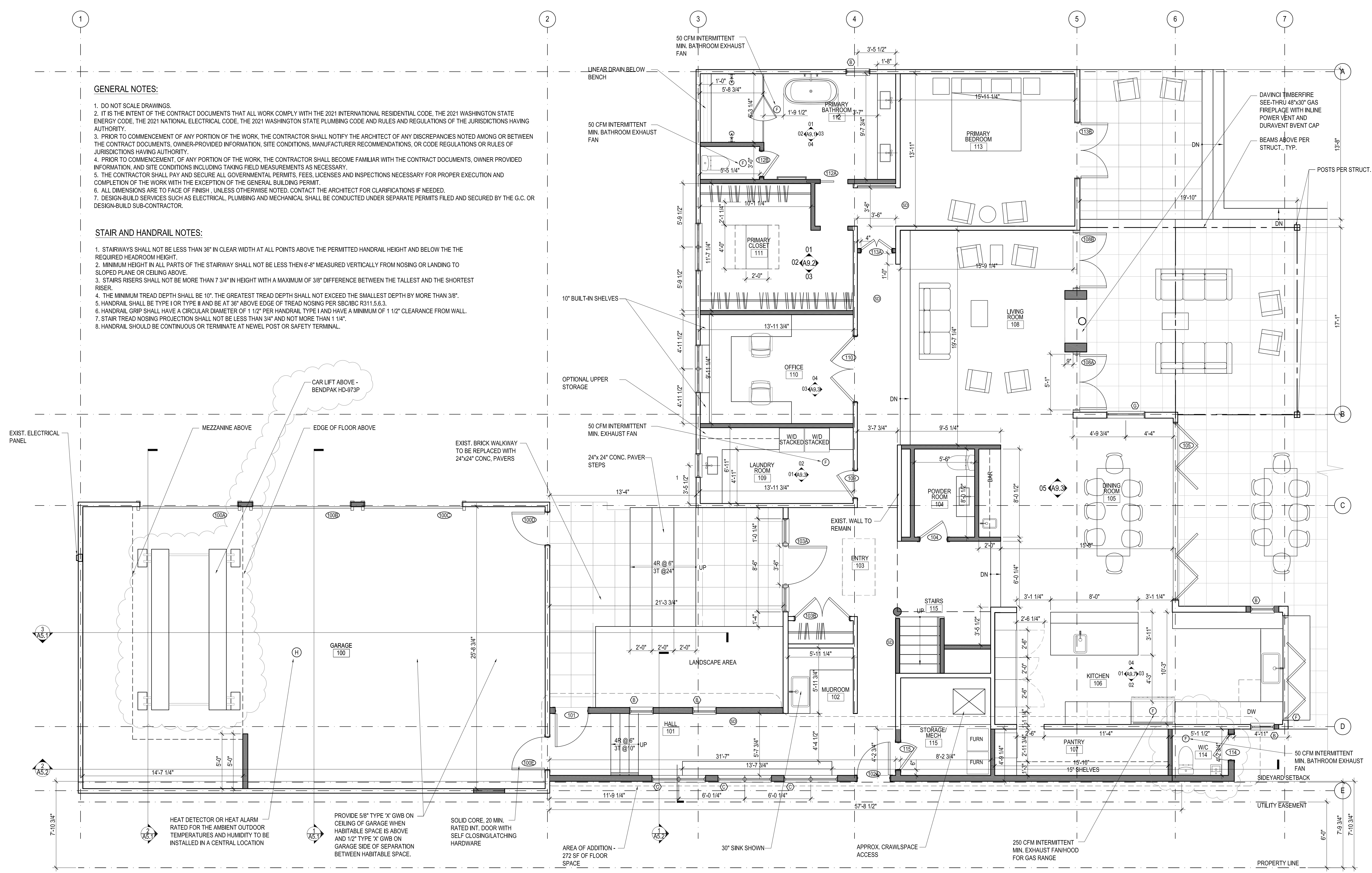
1 FOUNDATION PLAN
 1/4" = 1'-0"

GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 WASHINGTON STATE ENERGY CODE, THE 2021 NATIONAL ELECTRICAL CODE, THE 2021 WASHINGTON STATE PLUMBING CODE AND RULES AND REGULATIONS OF THE JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODE REGULATIONS OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT, OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER PROVIDED INFORMATION, AND SITE CONDITIONS INCLUDING TAKING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL PAY AND SECURE ALL GOVERNMENTAL PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK WITH THE EXCEPTION OF THE GENERAL BUILDING PERMIT.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. CONTACT THE ARCHITECT FOR CLARIFICATIONS IF NEEDED.
- DESIGN-BUILD SERVICES SUCH AS ELECTRICAL, PLUMBING AND MECHANICAL SHALL BE CONDUCTED UNDER SEPARATE PERMITS FILED AND SECURED BY THE G.C. OR DESIGN-BUILD SUB-CONTRACTOR.

STAIR AND HANDRAIL NOTES:

- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
- MINIMUM HEIGHT IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM NOSING OR LANDING TO SLOPED PLANE OR CEILING ABOVE.
- STAIRS RISERS SHALL NOT BE MORE THAN 7 3/4" IN HEIGHT WITH A MAXIMUM OF 3/8" DIFFERENCE BETWEEN THE TALLEST AND THE SHORTEST RISER.
- THE MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST DEPTH BY MORE THAN 3/8".
- HANDRAIL SHALL BE TYPE I OR TYPE II AND BE AT 38" ABOVE EDGE OF TREAD NOSING PER SBC/IBC R311.5.6.3.
- HANDRAIL GRIP SHALL HAVE A CIRCULAR DIAMETER OF 1 1/2" PER HANDRAIL TYPE I AND HAVE A MINIMUM OF 1 1/2" CLEARANCE FROM WALL.
- STAIR TREAD NOSING PROJECTION SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 1 1/4".
- HANDRAIL SHOULD BE CONTINUOUS OR TERMINATE AT NEWEL POST OR SAFETY TERMINAL.



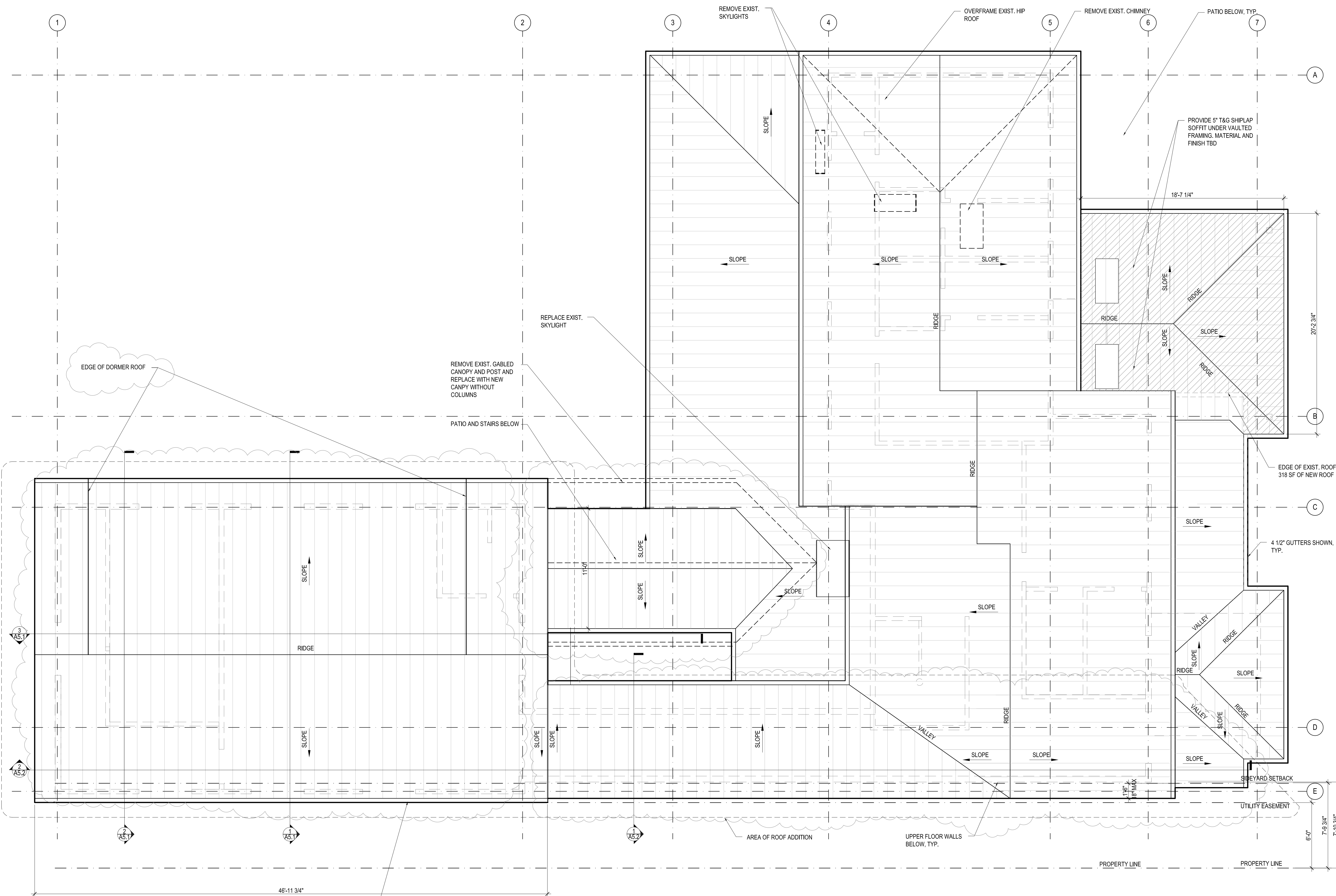
1 MAIN FLOOR PLAN
 1/4" = 1'-0"

LEGEND:

EXIST. INT./EXT. WALL	=====	HARD WIRED CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTOR W/BATTERY BACK-UP	SD
NEW INT./EXT. WALL	=====	EXHAUST FAN	F
EGRESS WINDOW	e	50 CFM INTERMITTENT MIN. FOR BATH AND LAUNDRY	
THERMOSTAT	T	160 CFM INTERMITTENT MIN. ELECTRIC RANGE	
		250 CFM INTERMITTENT MIN. FOR GAS RANGE	
		300 CFM INTERMITTENT MIN. FOR DOWNDRAFT	



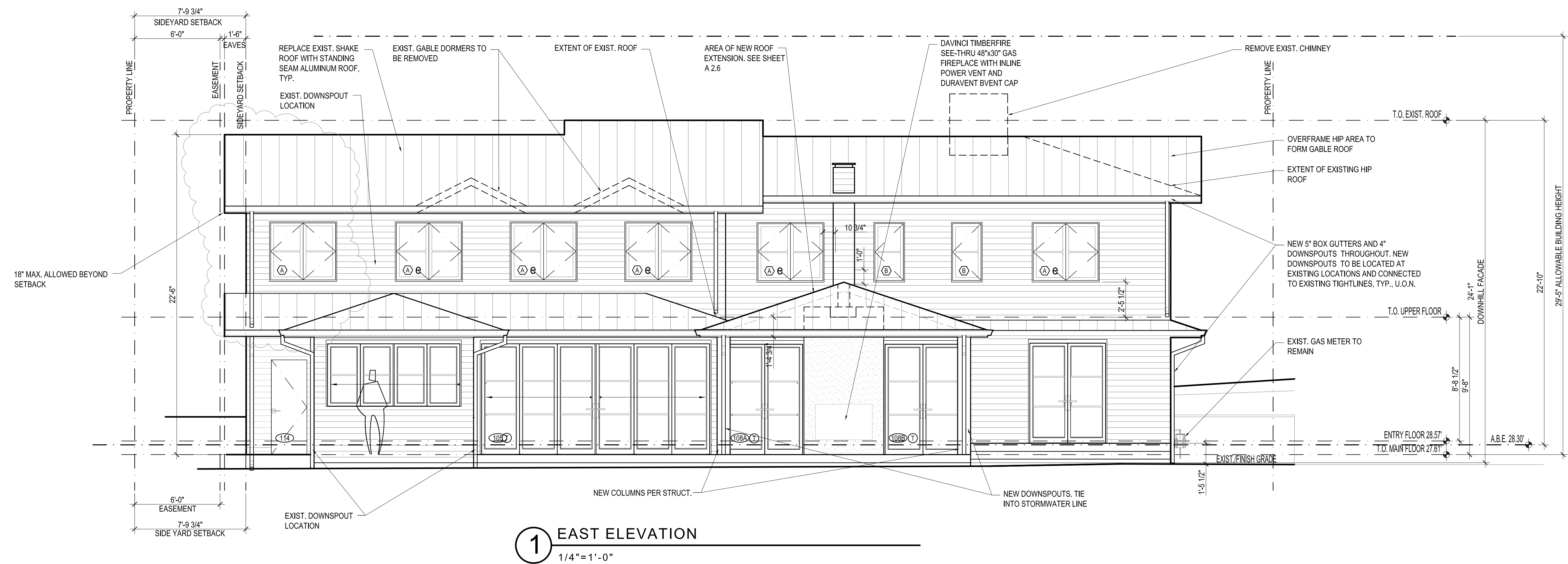
Date:	01.30.2026
CONSTRUCTION SET ISSUE	03.20.2026
BUILDING PERMIT REVISION	
Number:	
Revision:	



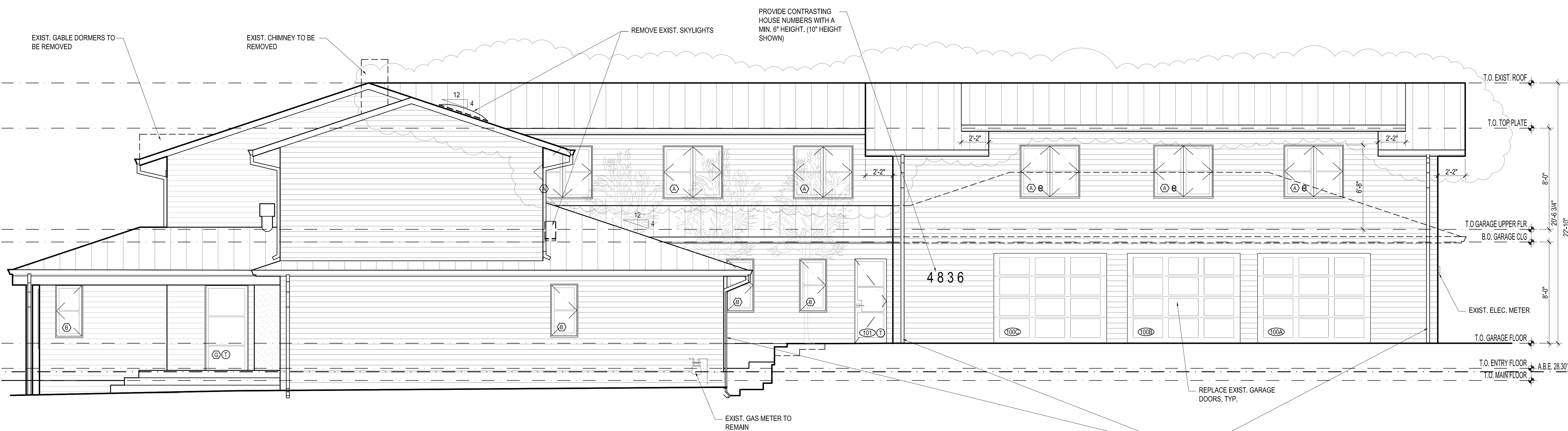
1 ROOF PLAN
 1/4" = 1'-0"

REPLACE ALL GUTTERS WITH NEW 4 1/2" BOX TYPE GUTTERS, TYP.

Date:	01.30.2026
CONSTRUCTION SET ISSUE	03.20.2026
BUILDING PERMIT REVISION	
Number:	
Revision:	



1 EAST ELEVATION
 1/4" = 1'-0"

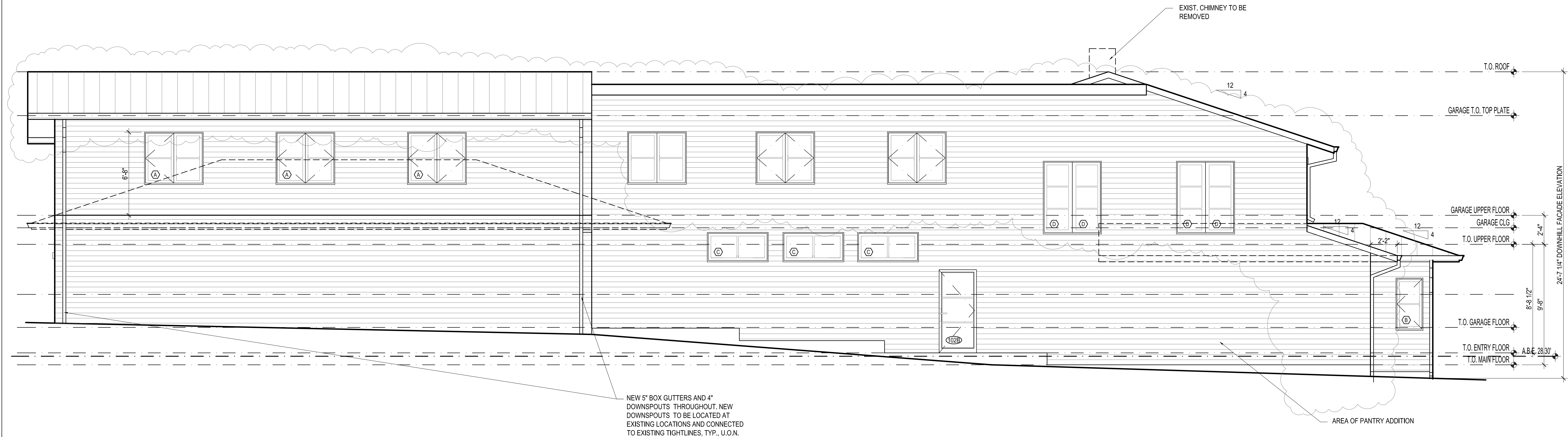


2 NORTH ELEVATION
 1/4" = 1'-0"

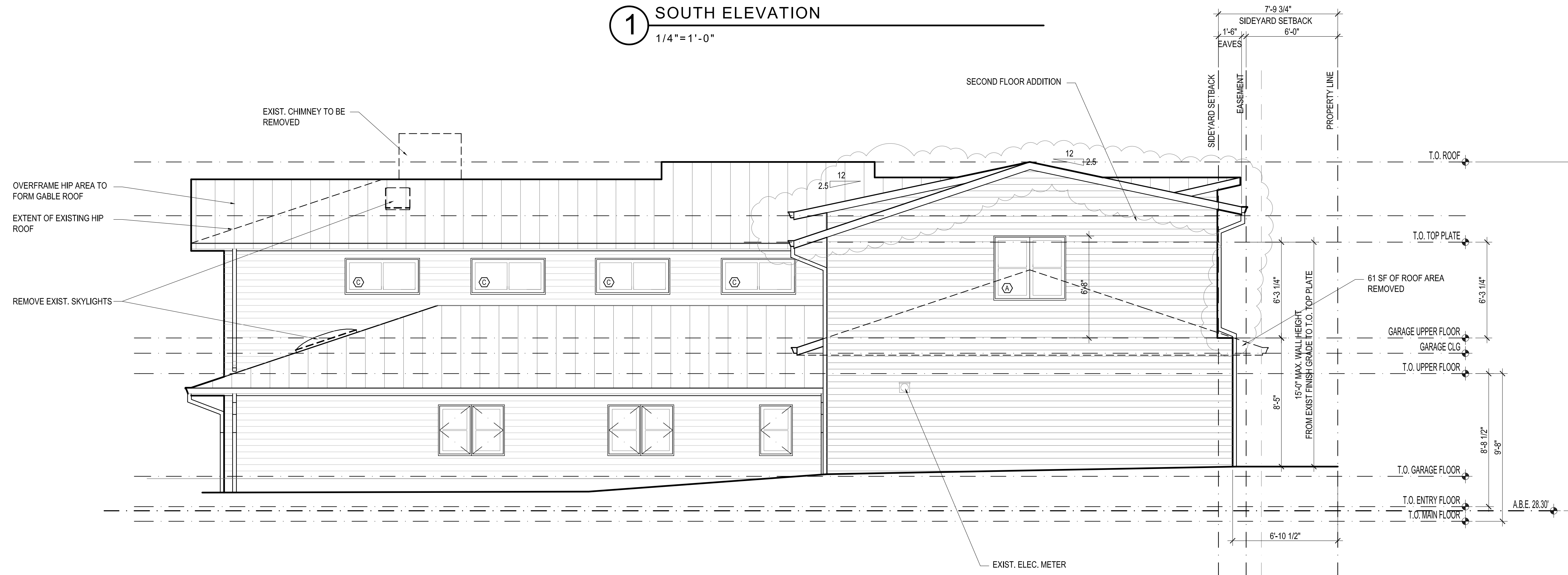
NEW 5" BOX GUTTERS AND 4" DOWNSPOUTS THROUGHOUT. NEW DOWNSPOUTS TO BE LOCATED AT EXISTING LOCATIONS AND CONNECTED TO EXISTING TIGHTLINES, TYP., U.O.N.

NOTE:
 EXISTING GARAGE STRUCTURE IS NON-CONFORMING REGARDING SIDEYARD SETBACKS PER PREVIOUS BUILDING PERMIT. PROPOSED DESIGN CONFORMS TO MICC 19.01.050(D)(1)(b). NO EXISTING NON-CONFORMING EXTERIOR STRUCTURAL WALLS TO BE REMOVED.

Date:	01.30.2026
Revision:	03.20.2026
Number:	CONSTRUCTION SET ISSUE
	BUILDING PERMIT REVISION

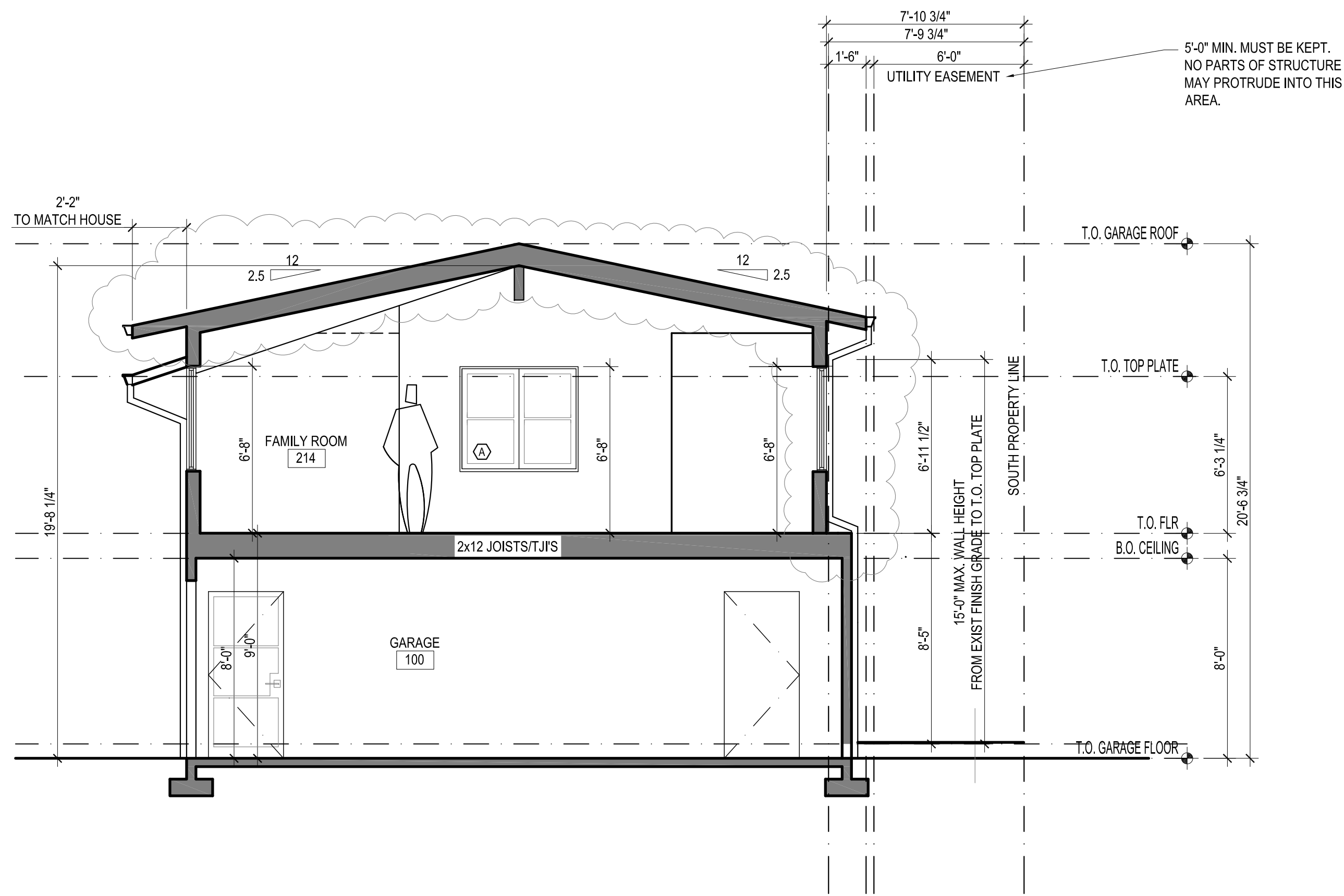


1 SOUTH ELEVATION
 1/4" = 1'-0"



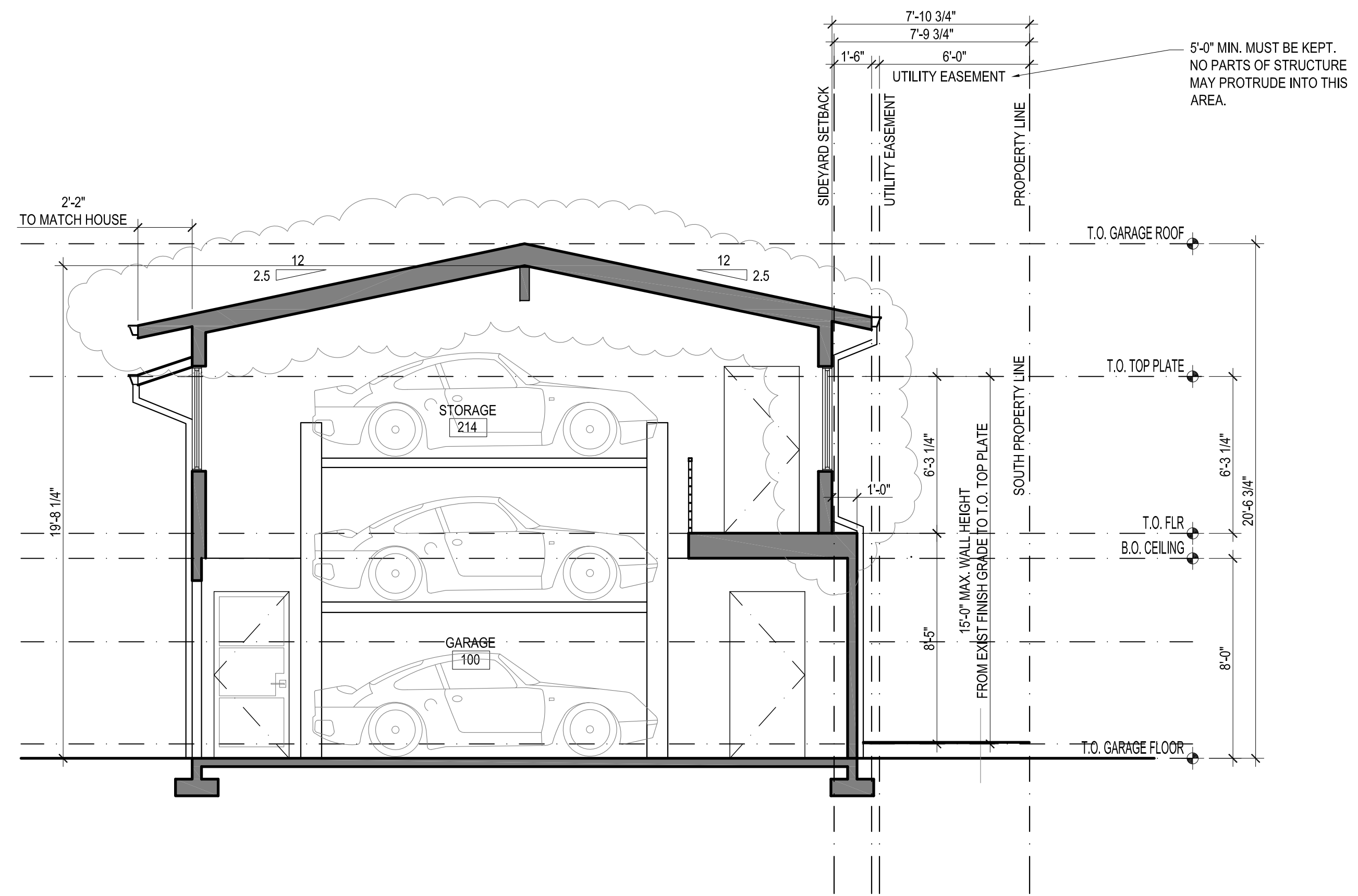
2 WEST ELEVATION
 1/4" = 1'-0"

NOTE:
 EXISTING STRUCTURE IS NON-CONFORMING REGARDING SIDEYARD SETBACKS PER PREVIOUS BUILDING PERMIT. PROPOSED DESIGN CONFORMS TO MICC 19.01.050(D)(1)(b). NO EXISTING NON-CONFORMING EXTERIOR STRUCTURAL WALLS TO BE REMOVED.



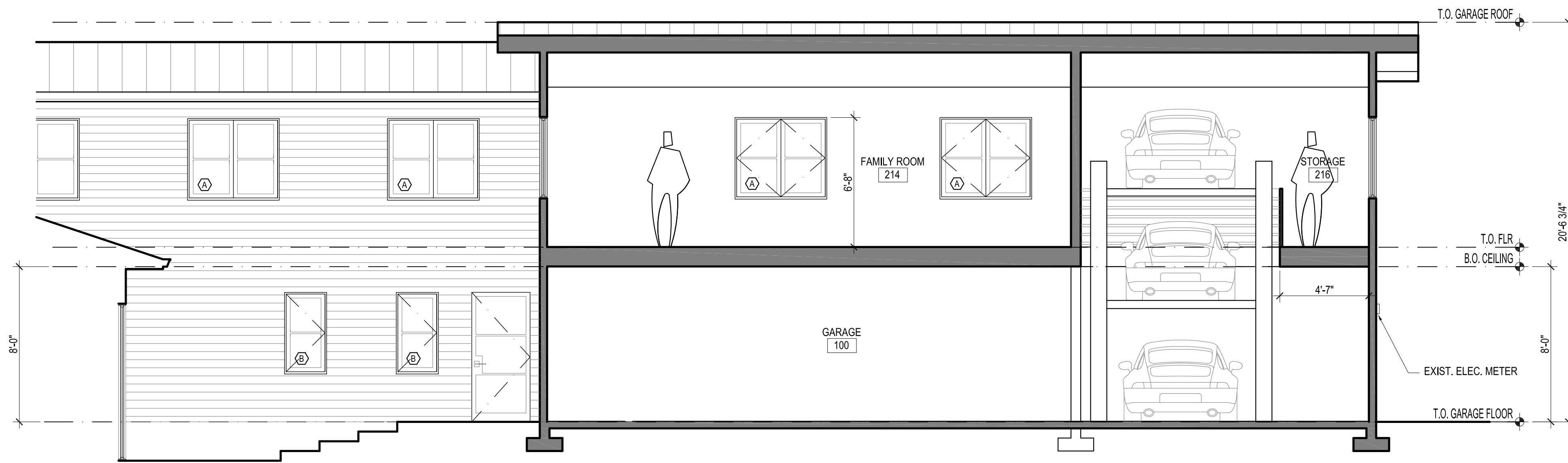
1 BUILDING SECTION
1/4" = 1'-0"

NOTE:
PROVIDE 5/8" TYPE 'X' GWB ON CEILING OF GARAGE WITH HABITABLE SPACE ABOVE AND 1/2" TYPE 'X' GWB ON GARAGE SIDE OF SEPARATION BETWEEN HABITABLE SPACE.



2 BUILDING SECTION
1/4" = 1'-0"

NOTE:
PROVIDE 5/8" TYPE 'X' GWB ON CEILING OF GARAGE WITH HABITABLE SPACE ABOVE AND 1/2" TYPE 'X' GWB ON GARAGE SIDE OF SEPARATION BETWEEN HABITABLE SPACE.



3 BUILDING SECTION
1/4" = 1'-0"



Date:	01.30.2026	03.20.2026
CONSTRUCTION SET ISSUE		
BUILDING PERMIT REVISION		

